



Mount Edgecombe Country Club Estate-1

GENERAL DESIGN CONTROLS

- 1. ST ANDREWS VILLAGE**
- 2. BIRKDALE VILLAGE**
- 3. HOYLAKE VILLAGE**
- 4. TROON VILLAGE**
- 5. MUIRFIELD VILLAGE**

**THESE GENERAL CONTROLS ARE TO BE READ IN CONJUNCTION WITH THE
SPECIFIC CONTROLS FOR EACH VILLAGE**

AMENDMENTS TO FOURTH EDITION

Page 23	11.1	Materials & sash windows added
Page 25	11.2	Materials added
Page 25	11.3	Materials & blinds added
Page 27	11.5	Loft Rooms added
Page 27	11.6	Ponds/Water features added
Page 29	11.7	TV Antennae/Telephone and reception updated
Page 29	11.8	Roof Fixtures Skylights added
Page 29	11.9.1	Paving Materials & Colour added
Page 30	11.9.2	Driveway – Edging added
Page 30	11.9.3	Pool fencing – added
Page 36	11.11	Street address – amended & colour added
Page 36	11.18	Solar panels Generators Wind Turbines added
Page 37	12.	Design Review Process – amended
Page 38	14.	Amended
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1. INTRODUCTION

Prior to submitting plans to the Local Authority, all property owners will be required to submit building alteration plans to the Mount Edgecombe Country Club Estate Management Association 1 (MECCEMA-1) for aesthetic and planning approval.

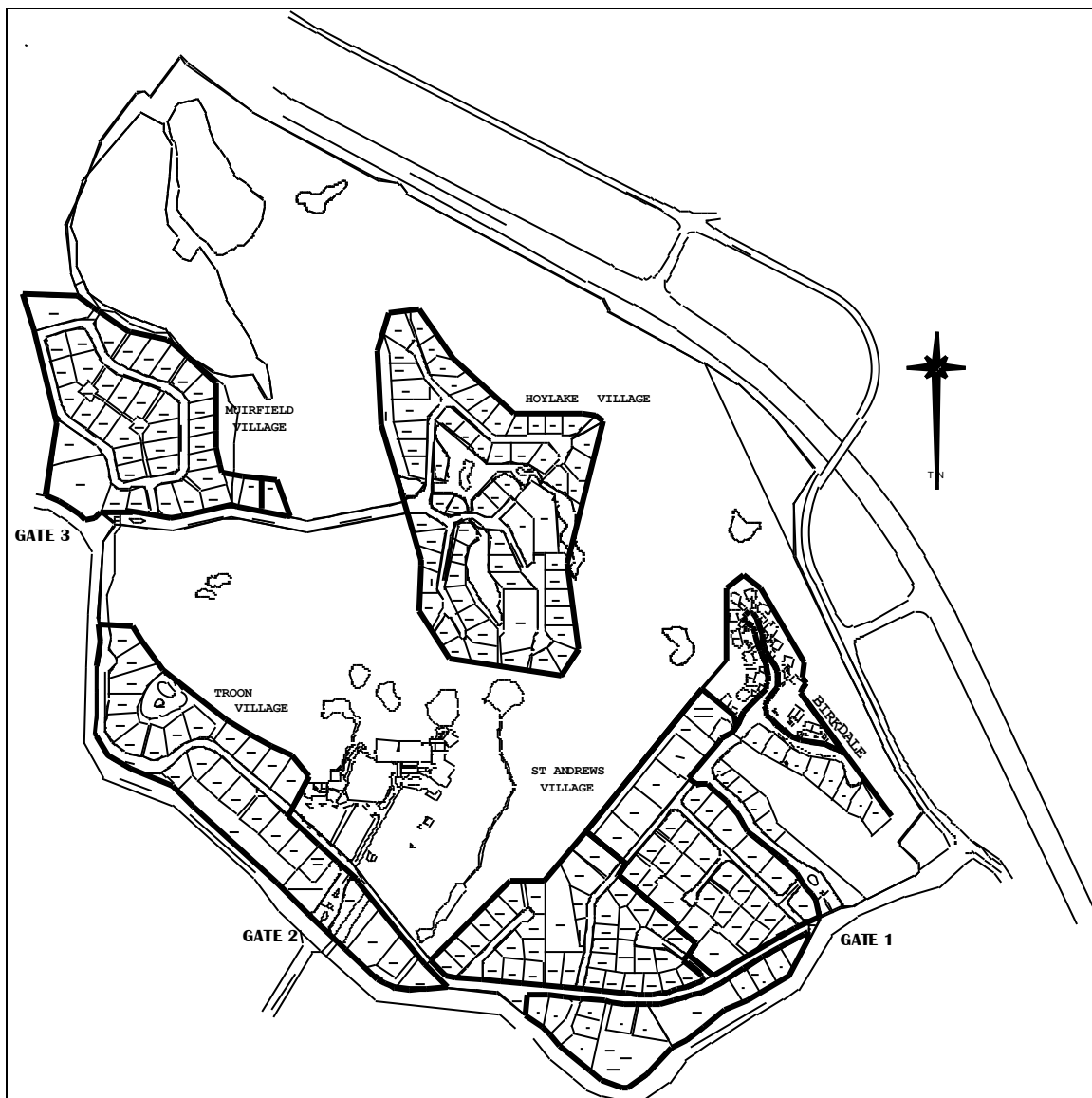
During construction/alterations and in order to maintain the stringent aesthetics of the Estate, no changes to the approved elevations, without prior written authorisation, will be allowed.

Additionally any superficial alteration, not normally requiring municipal approval, to any building or property, including vegetation, landscaping, fencing, position of any airconditioner; pool pump; blinds; awnings; generator; solar panel etc and/or screening will require MECCEMA-1 written approval.

Scrutiny Architects are appointed by MECCEMA-1 to act as review Architects on the Planning and Aesthetics Committee (P&A) and as such, to act as an "aesthetic watchdog." The review architects and the P&A should always take a global view of what is most beneficial to the Estate, whilst balancing the individual requirements of the owners.

THIS IS A WORKING DOCUMENT AND IN KEEPING UP TO DATE CERTAIN CHANGES COULD BE MADE.

IT MUST THEREFORE BE NOTED THAT NO ADDITIONS OR ALTERATIONS ARE TO COMMENCE WITHOUT PRIOR WRITTEN APPROVAL FROM MECCEMA-1.



THE MOUNT EDGECOMBE COUNTRY CLUB ESTATE 1
Showing Birkdale, St Andrews, Troon, Muirfield & Hoylake Villages

2. THE DESIGN CONTROLS

MECCE has a well established golf course and club facilities. A strong precedent in architectural style was set by the clubhouse building and the original show village in Birkdale. It is, therefore, the intention of MECCEMA-1 that all structures and buildings erected on the Estate are complimentary to the **Natal Verandah Victorian** style.

It was important that houses fronting onto the golf course and water features would establish a relationship with the course/feature. This for example, was achieved through front lawns and low boundary enclosures. To the street side, the suburban residential streetscape must be maintained. This can be achieved by keeping boundary enclosures low and fairly uniform and where higher fences are used they should be a type that enables inward as well as outward views. Furthermore, the careful placing of garages, loft rooms, front gates, lighting and landscaping will also enhance the streetscape.

3. GENERAL DESIGN PRINCIPLES

All areas within the Estate share some common criteria. Through the application of these criteria, an integrity and homogeneity of style and finish will be maintained. The P&A committee is vigilant of the fact that any alteration to a dwelling should synergise with the architecture of the main dwelling. In every case each application is considered on merit.

A suggested range of finishes and elements have been approved and by working within this range and by applying the additional criteria specific to any area, sufficient scope to suit individual requirements and taste is conceded, whilst a sense of harmony is attained.

The following sections lay out the specific controls for each area of Mount Edgecombe Country Club Estate Villages and must be read in conjunction with the "Village Development Controls" (A separate documents available from MECCEMA offices)

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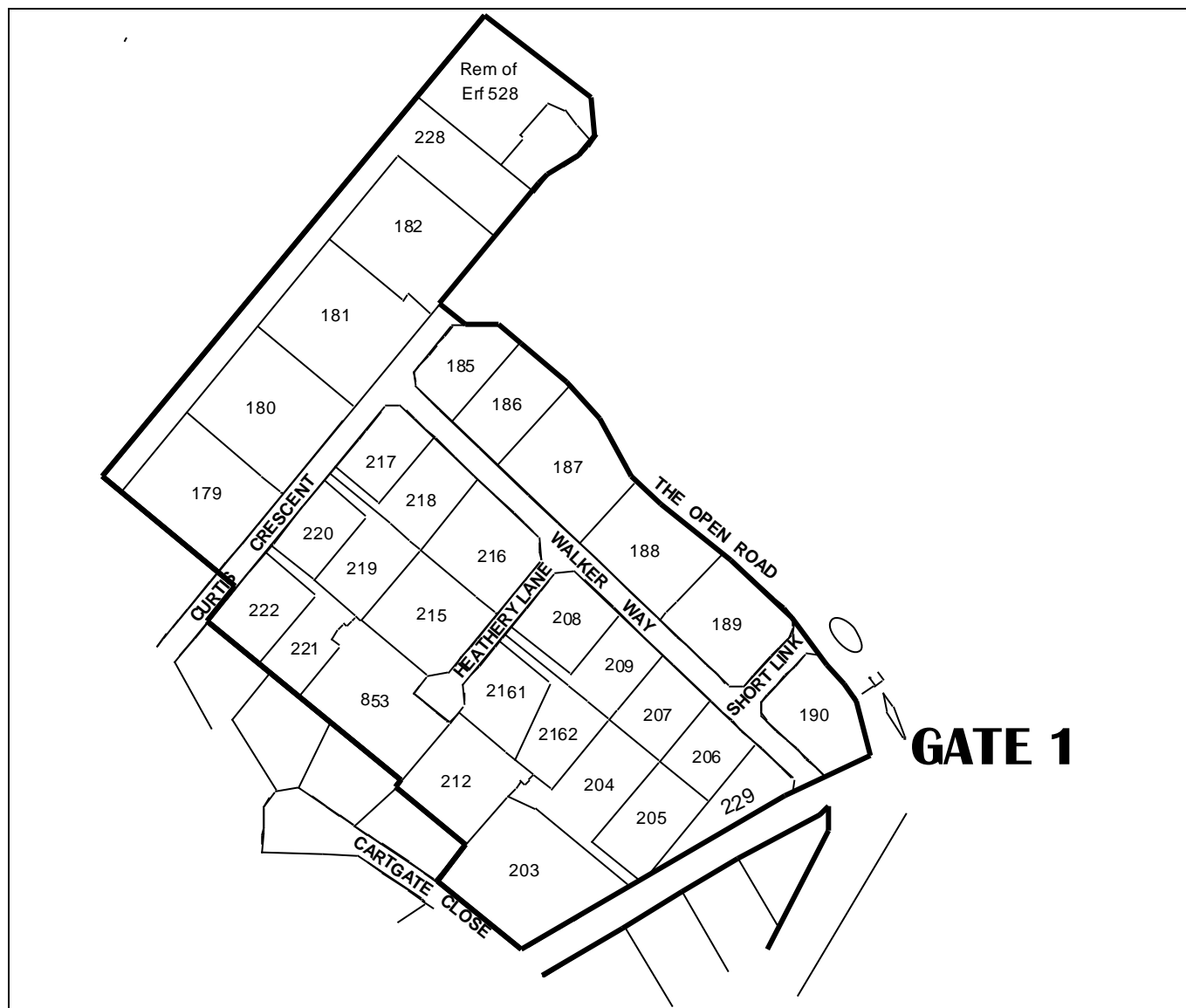
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Property owners and designers should note that the Mount Edgecombe Natal Verandah Victorian style is a reference to the Victorian and Natal Verandah Architecture. The specific controls therefore refer to a specific style or architecture appropriate to the Mount Edgecombe Country Club Estate and not necessarily exact Victorian architecture.

SPECIFIC CONTROLS

4. ST. ANDREWS OLD VILLAGE



ST. ANDREWS OLD VILLAGE (NOT TO SCALE)

SPECIFIC CONTROLS

4. ST. ANDREWS OLD VILLAGE Cont.

SPECIFIC EXCLUSIONS

GENERAL INCLUSION

4.1 ROOFSMATERIALS

- * Corrugated fibre cement
- * Metal sheeting
- * Thatch, shingle, slate or plastic

- * Roof tiles to match existing roofs
- * PVC, aluminium or fibre cement rain water goods.
- * Lots 179 – 182 may use Forest Green Aluminium sheeting or green tiles on application.
- * Replaced roofs in Double Roman/Marseilles tiles

COLOUR

- * Light coloured or reflective roofs

- * Roof tiles to match existing roofs.
- * White or forest green rain water goods.

FORM & ELEMENTS

- * Roof pitch exceeding 45°
- * Semi circular or vaulted roofs
- * Roof pitch lower than existing

- * Roof pitch to match existing houses.
- * Dormer windows

4.2 EXTERNAL WALLSMATERIALS

- * Plaster effect such as Spanish or textured Other than those permitted under "General Inclusion"
- * Ornate mouldings
- * Highly reflective finishes
- * Fairface brickwork above 1.2m from Ground level.

- * Plaster to match existing.
- * Plaster and paint
- * Plaster bands

COLOUR

- * Any colour other than those permitted under "General Inclusions"

- * White or Off White
- * Off White walls to be: Dulux Linen 40YY78/140
Dulux Woodlily 40YY83/129
Plascon Cameo
- * Facebrick to match existing.
- * Forest Green to plaster bands on white
- * White to plaster bands on other than white

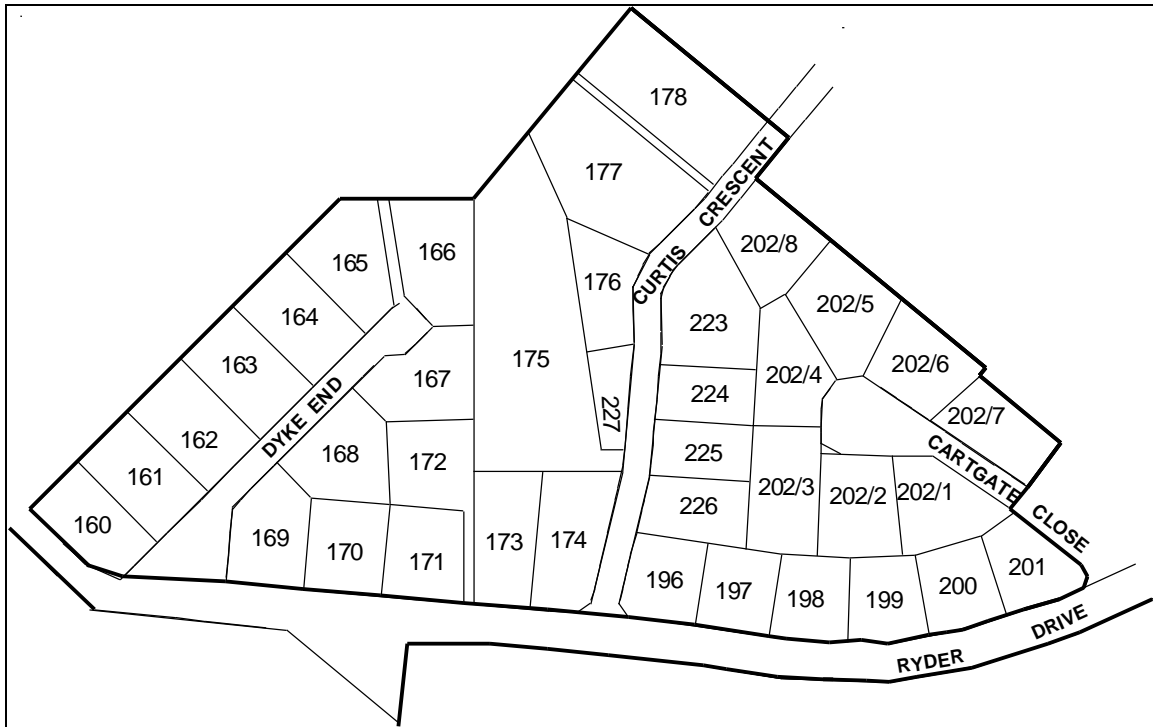
FORM & ELEMENTS

- * Decorative elements such as Spanish, Cape Dutch or Tudor.
- * Precast concrete columns other than Victorian or Natal Verandah Style
- * Pre-cast Quoining

- * Plaster bands to doors and windows
- * Gable features
- * Plaster quoining
- * Bay Windows
- * Shutters
- * Victorian or Natal Verandah Style

SPECIFIC CONTROLS

5. ST. ANDREWS NEW RESIDENTIAL SITES



ST. ANDREWS NEW RESIDENTIAL SITES (NOTE TO SCALE)

SPECIFIC CONTROLS

5. ST. ANDREWS - NEW RESIDENTIAL SITES Cont

SPECIFIC EXCLUSIONS

GENERAL INCLUSIONS

5.1 ROOFSMATERIALS

- * Corrugated fibre cement
- * Thatch, shingle, slate or plastic
- * Metal sheeting other than aluminium

- * Corrugated aluminium roof sheeting
- * Roof tiles Double Roman profile
- * PVC, aluminium or fibre cement rain water goods

COLOUR

- * Light coloured or reflective roofs

- * Roof tiles in Forest Green (excl existing)
- * White or Green rain water goods
- * Aluminium sheeting in Forest Green

FORMS & ELEMENTS

- * Semi-circular vaulted roofs

- * Roof pitch of 35°
- * Dormer windows

5.2 EXTERNAL WALLSMATERIALS

- * Plaster effects other than those permitted Under "General Inclusions"
- * Ornate mouldings
- * Highly reflective surfaces

- * Plaster and paint
- * Face brick to match existing
- * Plaster bands

COLOUR

- * Any colour other than those permitted under "General Inclusion"

- * White or facebrick to match existing
- * Off White walls to be: Dulux Linen 40YY78/140
Dulux Woodlily 40YY83/129
Plascon Cameo
- * Forest Green plaster bands on white
- * White plaster bands on other than white

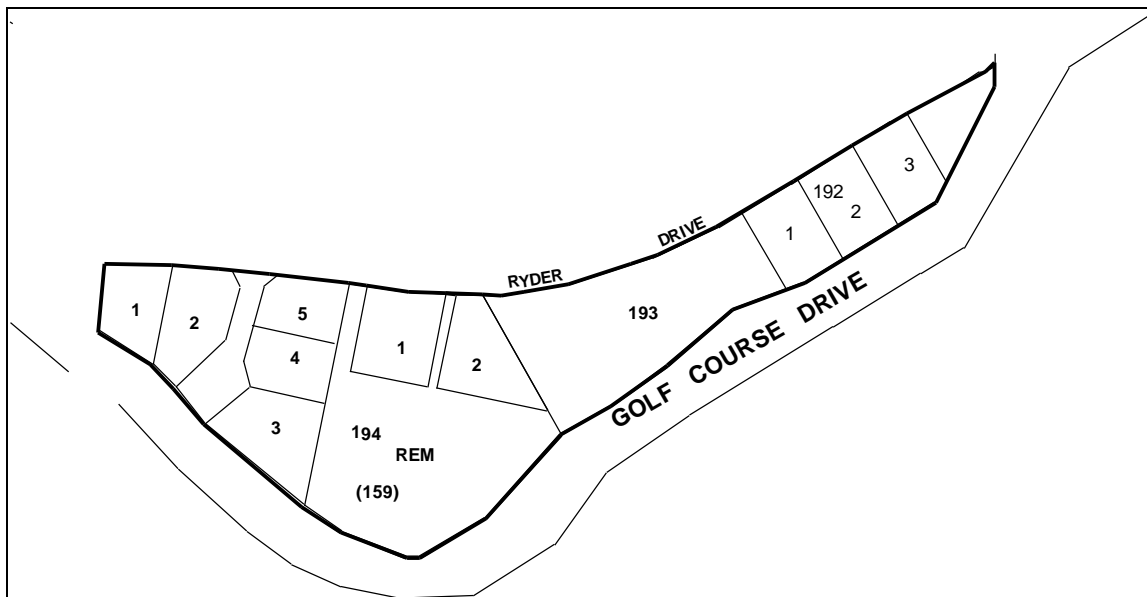
FORM & ELEMENTS

- * Decorative elements such as Spanish, Cape Dutch or Tudor.
- * Precast concrete columns other than Victorian or Natal Verandah Style
- * Pre-cast Quoining

- * Plaster bands to doors and windows
- * Gable features
- * Plaster quoining
- * Bay Windows
- * Shutters
- * Natal Verandah Victorian Style

SPECIFIC CONTROLS

6. ST. ANDREWS – CLUSTER SITES



ST. ANDREWS CLUSTER SITES (NOT TO SCALE)

SPECIFIC CONTROLS

6. ST. ANDREWS CLUSTER SITES

SPECIFIC EXCLUSIONS

GENERAL INCLUSIONS

6.1 ROOFSMATERIALS

- * Corrugated fibre cement
- * Thatch, shingle, slate or plastic
- * Metal sheeting other than aluminium

- * Corrugated aluminium roof sheeting
- * Roof Tiles Double Roman profile
- * PVC aluminium or fibre cement
- Rain water goods

COLOUR

- * Light coloured or reflective roofs

- * Roof tiles in Forest Green or Terracotta
- * White or Green rain water goods.
- * Aluminium sheeting in Forest Green

ALL MATERIALS AND COLOURS TO BE CONSISTENT THROUGHOUT ANY PARTICULAR SITE

FORM & ELEMENTS

- * Semi-circular vaulted roofs

- * Roof pitch of 35°
- * Dormer Windows

6.2 EXTERNAL WALLSMATERIALS

- * Plaster effects other than those permitted
- * Ornate mouldings
- * Highly reflective surfaces
- Under "General Inclusions"

- * Plaster and paint
- * Plaster bands
- * Face brick to match existing

COLOUR

- * Any colour other than those permitted
- Under "General Inclusions"

- * White or face brick to match existing
- * Off White walls to be: Dulux Linen 40YY78/140
Dulux Woodlily 40YY83/129
Plascon Cameo
- * Forest Green plaster bands on white
- * White plaster bands on other than white

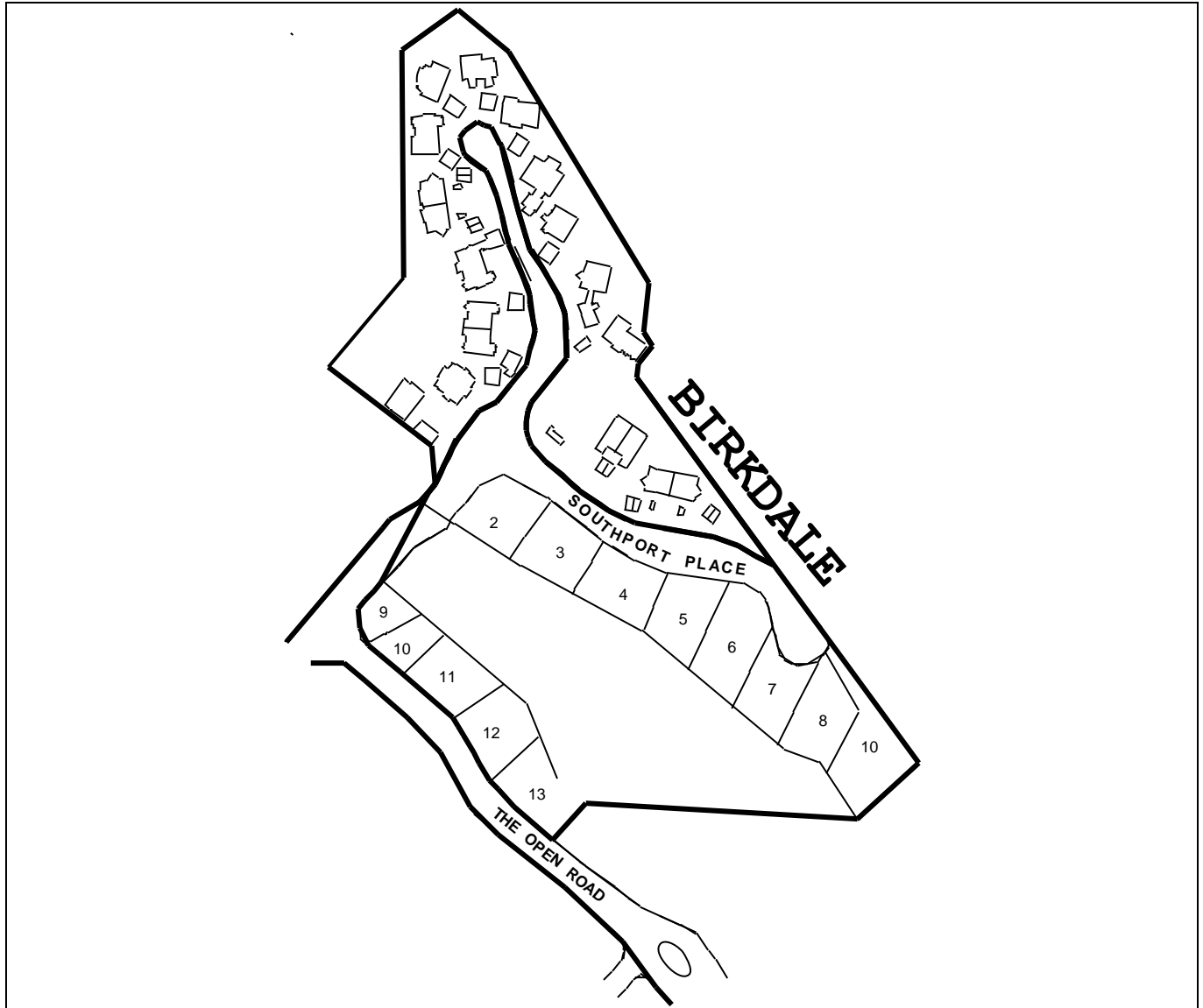
FORMS & ELEMENTS

- * Decorative elements such as Spanish, Cape Dutch or Tudor
- * Precast concrete columns other than Victorian or Natal Verandah Style
- * Pre-cast Quoining

- * Plaster bands to doors and windows
- * Gable Features
- * Plaster quoining
- * Bay Windows
- * Shutters

SPECIFIC CONTROLS

7. BIRKDALE VILLAGE



BIRKDALE VILLAGE (NOT TO SCALE)

SPECIFIC CONTROLS

7. BIRKDALE VILLAGE Cont.

SPECIFIC EXCLUSIONS

GENERAL INCLUSIONS

7.1 ROOFSMATERIALS

- * Any material other than aluminium Sheeting (corrugated)

- * Corrugated aluminium roof sheeting
- * PVC or aluminium rain water goods.

COLOURS

- * Light coloured or reflective roofs

- * Forest Green
- * White rainwater goods

FORMS & ELEMENTS

- * Semi-circular vaulted roofs

- * Roof pitch of 35°
- * Domer windows

7.2 EXTERNAL WALLSMATERIALS

- * Plaster effects other than those permitted Under "General Inclusions"
- * Ornate mouldings
- * Highly reflective surfaces

- * Face brick to match existing
- * Plaster bands

COLOUR

- * Any colour other than those permitted under "General Inclusion"

- * Face brick to match existing
- * White plaster bands

FORM & ELEMENTS

- * Decorative elements such as Spanish, Cape Dutch or Tudor
- * Precast concrete columns other than Victorian or Natal Verandah Style
- * Plaster and pre-cast quoining

- * Plaster bands to doors and windows
- * Gable Features
- * Bay Windows
- * Shutters
- * Victorian or Natal Verandah Style

SPECIFIC CONTROLS

8. HOYLAK VILLAGE



HOYLAK VILLAGE (NOT TO SCALE)

SPECIFIC CONTROLS

8. HOYLAK VILLAGE Cont.

SPECIFIC EXCLUSIONS

GENERAL INCLUSIONS

8.1 ROOFSMATERIALS

- * Any material other than corrugated aluminium sheeting

- * Corrugated aluminium roof
- * PVC or aluminium rain water goods

COLOUR

- * Light coloured or reflective roofs

- * Forest Green
- * White rainwater goods

FORMS & ELEMENTS

- * Semi-circular or vaulted roofs

- * Roof pitch to match existing houses
- * Dormer windows

8.2 EXTERNAL WALLSMATERIALS

- * Plaster effects
- * Ornate mouldings
- * Highly reflective surfaces
- * Rough plaster

- * Plaster and paint
- * Plaster bands
- * Face brick to match existing

COLOUR

- * Any colour other than those permitted in "General Inclusions"

- * White or face brick to match existing
- * Off-white walls to be:
 - Dulux Linen 40YY78/140
 - Dulux Woodlily 40YY83/129
 - Plascon Cameo
- * Forest Green to plaster bands on white
- * White to plaster bands on other than white

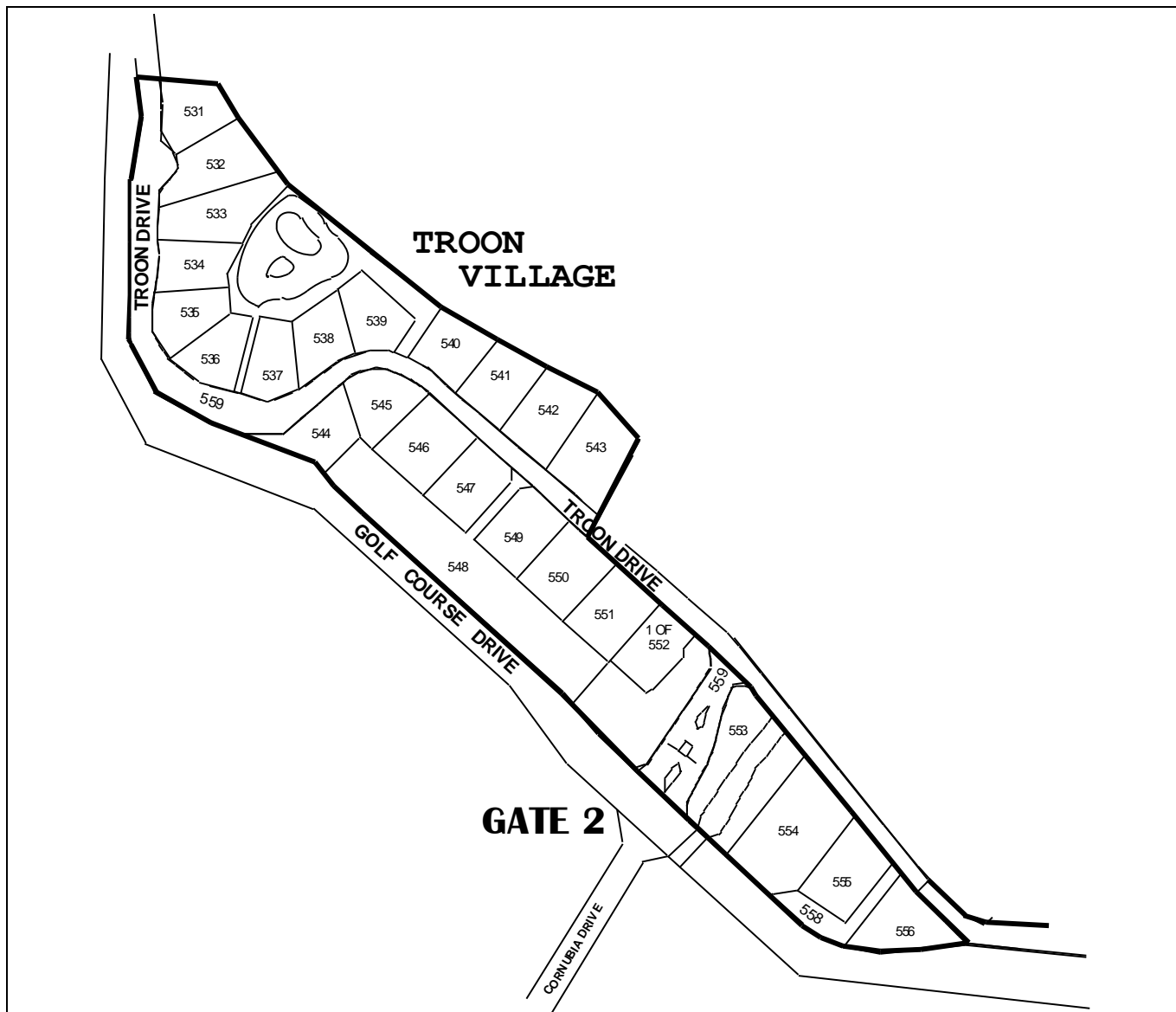
FORMS & ELEMENTS

- * Decorative elements such as Spanish, Cape Dutch or Tudor
- * Precast concrete columns other than Natal Verandah Victorian style.
- * Pre-cast quoining

- * Plaster bands to doors and windows
- * Gable features
- * Bay windows
- * Shutters
- * Natal Verandah Victorian Style.
- * Plaster quoining

SPECIFIC CONTROLS

9. TROON VILLAGE



TROON VILLAGE (NOT TO SCALE)

SPECIFIC CONTROLS

9. TROON VILLAGE Cont.

SPECIFIC EXCLUSIONS

GENERAL INCLUSIONS

9.1 ROOFSMATERIALS

- * Any material other than those permitted under "General Inclusion"

- * Corrugated aluminium roof sheeting or cement tile to sites 531 - 543
- * Tile to sites 544 – 556 Marseilles/Double Roman
- * PVC or aluminium rain water goods.

COLOUR

- * Light colour or reflective

- * Forest Green aluminium sheeting or tiles to sites 531 – 543
- * Forest Green painted roof tiles to sites 544 – 556
- * White rain water goods

FORMS & ELEMENTS

- * Semi-circular vaulted roofs

- * Roof pitch of 35°
- * Dormer windows

9.2 EXTERNAL WALLSMATERIALS

- * Plaster effects
- * Ornate moulding
- * Highly reflective surfaces
- * Rough plaster

- * Plaster and paint
- * Plaster bands
- * Face brick to match existing

COLOUR

- * Any colour other than those permitted under "General Inclusions"

- * Walls if painted:
White
Dulux Linen 40YY78/140
Dulux Woodlily 40YY83/129
Plascon Cameo
- * Face brick to match existing
- * Forest Green to plaster bands on white
- * White to plaster bands on other than white

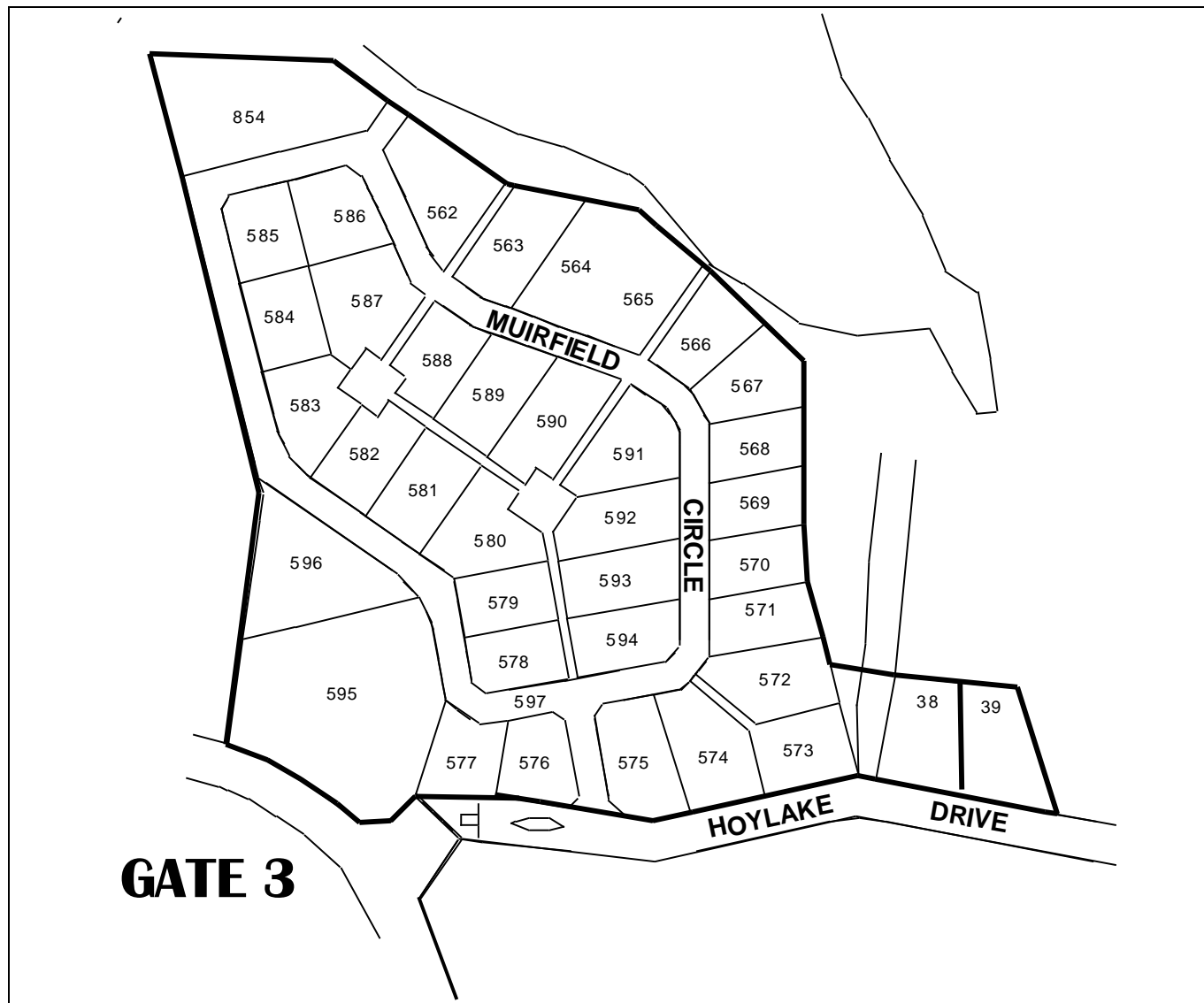
FORMS & ELEMENTS

- * Decorative elements such as Spanish, Cape Dutch or Tudor.
- * Precast concrete columns other than Natal Verandah Victorian Style.
- * Plaster and pre-cast quoining

- * Plaster bands to doors and windows.
- * Gables
- * Bay windows
- * Shutters
- * Natal Verandah Victorian Style.

SPECIFIC CONTROLS

10. MUIRFIELD VILLAGE



MUIRFIELD VILLAGE (NOT TO SCALE)

SPECIFIC CONTROLS

10. MUIRFIELD VILLAGE Cont.

SPECIFIC EXCLUSIONS

GENERAL INCLUSIONS

10.1 ROOFS

MATERIALS

- * Any material other than those permitted Under "General Inclusions"
- * Corrugated metal roof sheeting.

- * Painted Green roof tiles Double Roman
- * PVC or aluminium rain water goods.

COLOUR

- * Light colour or reflective
- * Forest Green metal sheeting

- * Forest Green painted roof tiles
- * White rainwater goods.

FORMS & ELEMENTS

- * Semi-circular vaulted roofs

- * Roof pitch of 35°
- * Dormer windows

10.2 EXTERNAL WALLS

MATERIALS

- * Plaster effects
- * Ornate mouldings
- * Highly reflective surfaces
- * Rough plaster

- * Plaster and paint
- * Plaster bands
- * Face brick to match existing

COLOUR

- * Any colour other than those permitted under "General Inclusions"

- * Walls if painted: White
 - Dulux Linen 40YY78/140
 - Dulux Woodlily 40YY83/129
 - Plascon Cameo
- * Face brick to match existing
- * Forest Green to plaster bands on white
- * White to plaster bands on other than white

FORMS & ELEMENTS

- * Decorative elements such as Spanish, Cape Dutch or Tudor
- * Pre-cast concrete columns other than Natal Verandah Victorian Style
- * Plaster and pre-cast quoining

- * Plaster bands to doors and windows
- * Gables
- * Bay windows
- * Shutters
- * Natal Verandah Victorian Style

11. GENERAL CONTROLS APPLICABLE TO ALL AREAS

SPECIFIC EXCLUSIONS

GENERAL MATERIALS

- * Cement bricks
- * Clinker bricks externally
- * Washing lines visible from outside Property.
- * Cement brick paving
- * Coloured electric light bulbs
- * "Winblocks"
- * Concrete balustrades

GENERAL – FORM & ELEMENTS

- * Temporary structures, tool sheds and Wendy-houses
- * Post boxes other than approved by MECCEMA-1

GENERAL INCLUSIONS

- * Hardwood or metal balustrades
- * Facebrick to match existing
- * Plantable terra-force retaining walls
- * Hardwood or metal verandah posts

- * Structures to comply with National Building Regulations.
- * Service to areas to be out of view from street or golf course.
- * Hidden plumbing on all relevant elevations

GENERAL ARCHITECTURAL STYLE

Recommended Mount Edgecombe Country Club Estate style as illustrated by photographs below:



GENERAL CONTROLS

11.1 WINDOWS & DOORS

SPECIFIC EXCLUSIONS

MATERIALS

- * Tinted reflective glass
- * Ornately carved doors
- * Railway sleeper doors
- * Pressed metal doors
- * Unpainted other than internal areas
- * Stained hardwood other than internal areas.
- * UPVC windows
- * Glass panels or doors to verandah surrounds.

COLOUR

- * Aluminium hardwood and UPVC in any colour other than white.

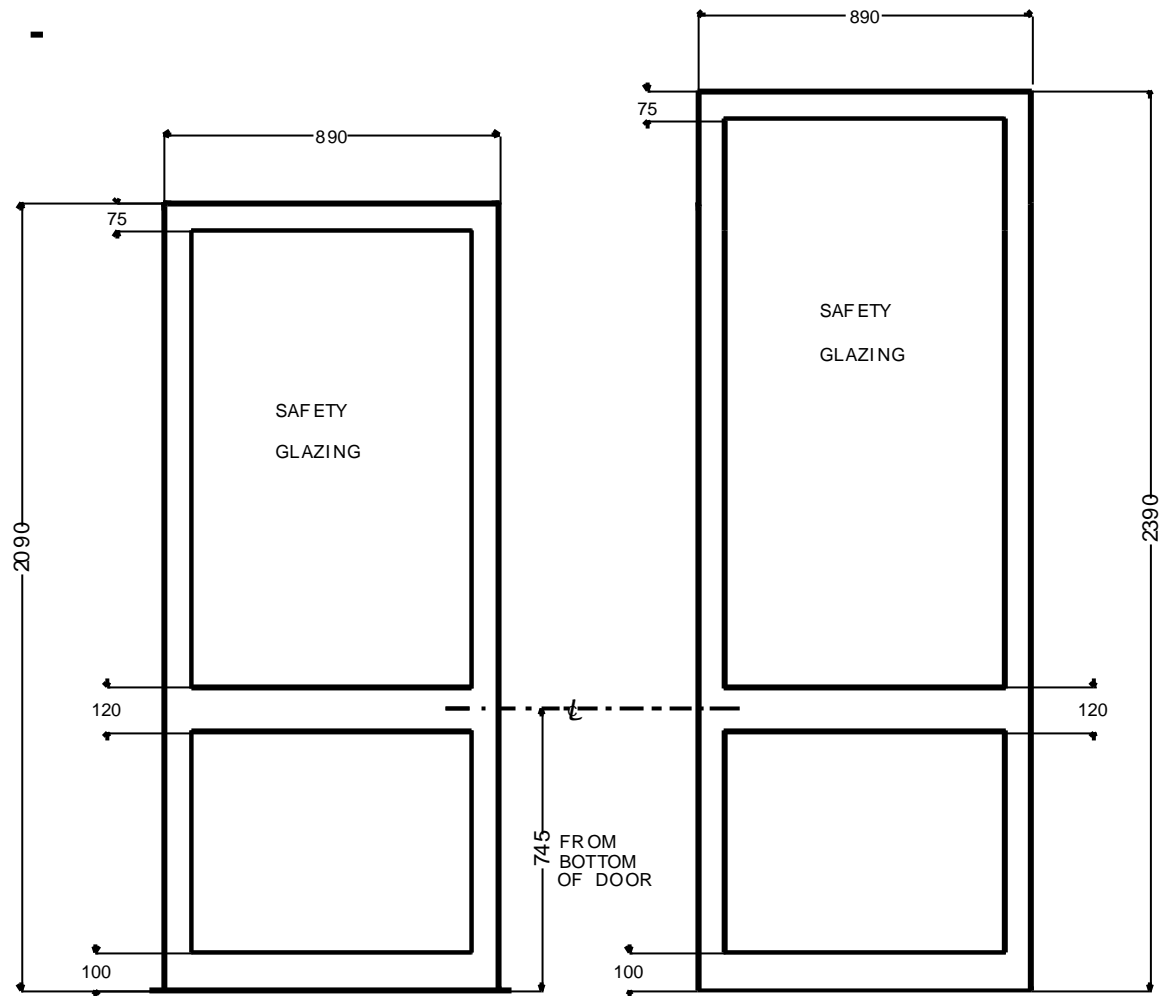
FORM & ELEMENTS

- * All windows other than those under "inclusions"
- * Fake shutters
- * External burglar guards

GENERAL INCLUSIONS

- * Cottage/small pane: hardwood, or aluminium
- * Timber and aluminium sliding sash full pane windows. See Form & element below
- * Window material to be consistent throughout.
- * White
- * Standard cottage/small pane windows only, similar or equal to standard catalogues:
The average size of pane shall not differ by more than 10% either way from the standard pane size of 220mm horizontally and 270mm vertically.
- * Homes with full pane sash windows must have doors that are 1/3 solid glass at the bottom and 2/3 glass to the top with a minimum 120mm width transom see sketch Page 24. Solid bottom panel permitted
- * Maximum pane width without a centre mullion = 600mm
- * If the house has cottage pane windows then all doors except the front entrance must be cottage pane.
- * Plaster bands around all doors and windows. White over face brick, Green over White plaster.
- * Internal burglar guards to match lines of windows.

DOORS TO HOMES WITH FULL PANE SASH WINDOWS



11.2 VERANDAHS AND SIMILAR EXTERNAL ELEMENTS

SPECIFIC EXCLUSION

MATERIALS

- * Decorative metal other than those examples approved by MECCEMA
- * Gumpoles
- * Pergolas in any materials other than those permitted under "General Inclusions"

COLOUR

- * Primary colours

FORM & ELEMENTS

- * Excessive adornment
- * Broekie Lace

GENERAL INCLUSIONS

- * Light timber or mild steel structures to complement main structure.
- * Timber decks
- * Pre-cast concrete post (Victorian or Doric)
- * Deck balustrade aluminium painted white as per approved example.
- * Blinds – See 11.3 below
- * Colours to be consistent with those of main structure, White, Terracotta and Forest Green.
- * Deck balustrade can be natural timber
- * Deep overhangs with Natal Verandah Appearance.
- * Similar form and elements to Birkdale Show Village.

11.3 AWNINGS/BLINDS/EYEBROW ROOFS OVER WINDOWS AND DOORS

SPECIFIC EXCLUSION

MATERIALS

- * Fibre glass sheeting
- * Metal sheeting other than those permitted under "General Inclusions"
- * Shade cloth
- * Sail cloth
- * Plastic
- * 100% transparent (See p26)

FORM & ELEMENTS

- * Panel windows to storm blinds

COLOUR

- * Primary colours

GENERAL INCLUSIONS

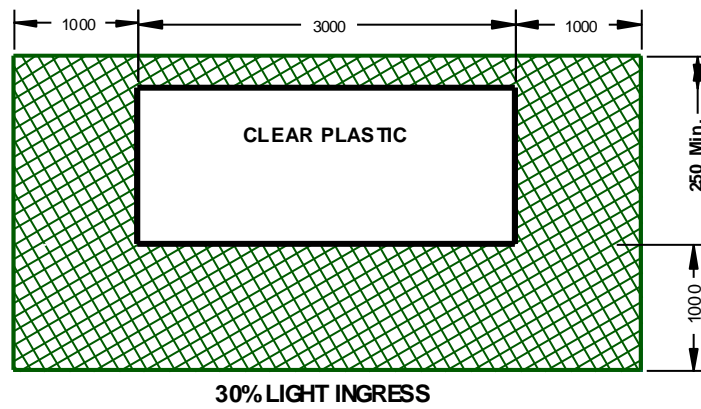
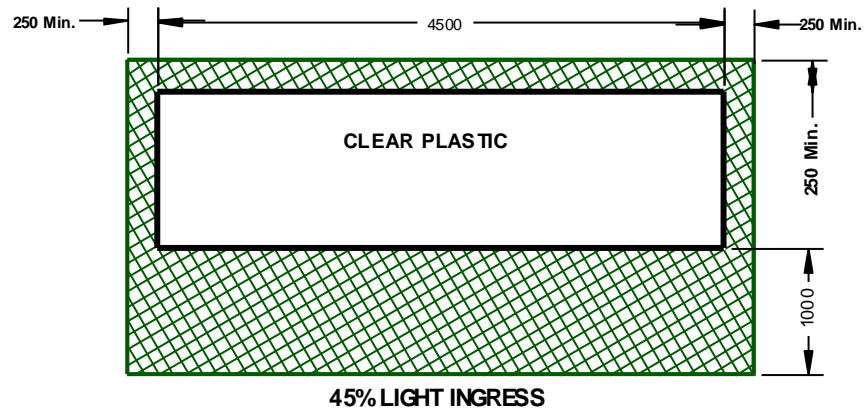
- * Canvas/PVC or aluminium to windows and door only.
- * Lean-to-roof on light timber posts and decorative beams or similar approved.
- * Storm blinds as per approved example
- * Canvas/PVC drop down blinds/retractable awnings as per approved example

EYEBROW ROOFS:

- * Aluminium only - to match roof
- * Cement tile only- to match roof

- * Canvas/PVC drop down blinds (not awnings) solid from floor to top of balustrade or a minimum of 1m, thereafter, if desired, a clear bordered panel window central between columns and horizontal beams or balustrade, with a minimum 250mm solid border top and sides. See sketch – Page 26
- * Storm blinds – stainless steel fixings as per approved sample
- * Forest Green / White to match existing
- * Storm blinds as per example – light brown & barley

CANVAS/PVC DROP DOWN BLINDS



11.4 GARAGES AND CARPORTS

SPECIFIC EXCLUSIONS

MATERIALS

- * Pre-cast concrete systems
- * Fibre glass or any similar material other than garage doors
- * Metal doors
- * Unpainted doors

COLOUR

FORMS & ELEMENTS

- * More than three garage doors to a structure

GENERAL INCLUSIONS

- * Construction to match main structure
- * Fibre glass Garage doors.
- * All garage doors to be white only.
- * May be physically linked to main structure
- * Raised and fielded panel doors preferred
- * Roofs to carport attached to main garages or dwellings may be low pitch lean-to structure

11.5 LOFT ROOMS (See Sketch page28)

- * Sufficient parking must be available
- * No encroachment of the building line will be allowed. The proposal must comply with FAR and Ethekwin North Operational Entity requirements.
- * Neighbours opinions will be taken into consideration.
- * Owners are encouraged to make use of the accredited panel of Architects/Architectural Designers.

Even though all of the above criteria are met, each application will be examined on merit.

11.6 SWIMMING POOLS/KOI PONDS/WATER FEATURES

SPECIFIC EXCLUSIONS

MATERIALS

- * Portable pools (all types)

COLOUR

- * Any colour other than Turquoise to Navy Blue

FORMS & ELEMENTS

- * Visible pump

GENERAL INCLUSIONS

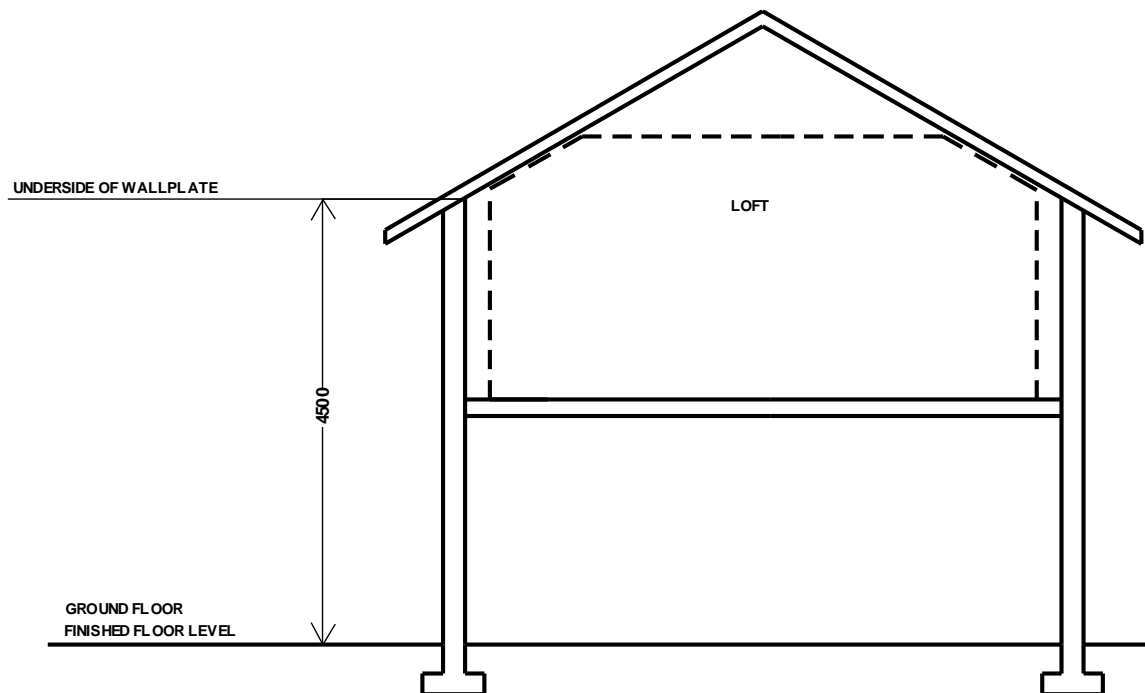
- * Pool surround to match general paving
- * Ponds/Water Features surround to match general paving
see note below
- * Fencing dark Green
- * Child proof fencing as per example to National Building Regulations (N.B.R)

NOTE:

PONDS/WATER FEATURES DEEPER THAN 450mm DEEP REQUIRE LOCAL AUTHORITY APPROVAL AND FENCING TO N.B.R

PRIOR TO COMMENCING ANY DESIGN OR CONSTRUCTION WORK, IT IS STRONGLY ADVISED TO CONSULT WITH A GEOTECHNICAL CONSULTANT ON THE SPECIFIC SOIL CONDITIONS.

LOFT ROOMS



- Sufficient parking must be available.
- No encroachment of the building lines will be allowed. The proposal must comply with FAR and eThekweni North Operational Entity requirements.
- Neighbours opinions will be taken into consideration.
- Owners are encouraged to make use of the accredited panel of Architects/ Architectural Designers.
- Even though all of the above criteria are met, each application will be examined on merit.

Owners are requested however to seriously examine the intended usage of the proposal and to consider alternatives.

11.7 T.V ANTENNAE / TELEPHONE AND RECEPTION DEVICES

Provision has been made for underground connections for Telkom SA

Connection fees should be confirmed with the MECCEMA Office.

No external private antennae or satellite TV reception devices will be permitted unless the type and position are approved by MECCEMA-1.

Satellite antennae must be suitably screened from the Golf Course or any roads and ideally not be higher than 1.8m above ground. **The maximum diameter of dish to be 900mm.**

11.8 ROOF FIXTURES – CHIMNEYS**SPECIFIC EXCLUSIONS****MATERIALS**

- * Reflective materials

COLOUR**FORMS & ELEMENTS**

- * Dome type skylights
- * Roof ventilators

GENERAL INCLUSIONS

- * To match main structure
- * To match main structure
- * To complement main structure
- * Skylights – low profile with surface parallel to roof slope.
- * Solar Panels see page 36

11.9 PV SOLAR PANELS AND HOT WATER SOLAR SYSTEMS WITH PANELS**SPECIFIC EXCLUSIONS****MATERIALS**

- * Thin P.V. Panels
- * Evacuated Tube collectors

COLOUR

- * Only colours specified
In general Inclusions

FORM & ELEMENTS

- * Only Forms and Element shown in general inclusions and as per sketches
- * Exposed geysers on exterior side of roof

GENERAL INCLUSIONS

- * Polycrystalline and Monocrystalline P.V Panels
- * Flat plate water collectors
- * Grey or Black Anodized Aluminium frame
- * Arrays of Panels to be symmetrical to elevation of roof and panels to be equal size
- * Flat plate water collectors to be equal in size and blend into symmetry of any surrounding panels.

11.10 LANDSCAPING ELEMENTS/POOL SURROUNDS

SPECIFIC EXCLUSIONS

GENERAL INCLUSIONS

11.10.1 PAVINGMATERIALS

- * Concrete surfaces not covered in Paving or tiles
- * Concrete paving blocks or bricks
- * Asphalt surfaces
- * Grass Blocks

- * Corobrick clay, burgundy or similar
- * Terracotta tiles
- * Timber decks
- * Paving slabs
- * Smart stone or similar in sandstone to pool Surrounds, garden edges, borders and flower beds.

COLOUR

- * Bold patterns
- * Design Motif

- * Terracotta
- * Dark colours as per example

EXTENT

- * Maximum 35% of open Erf area

NOTE: ONLY APPROVED PAVING CONTRACTORS MAY BE USED. PLEASE CONSULT WITH THE MANAGEMENT OFFICE FOR A SELECTION OF APPROVED CONTRACTORS.

11.10.2 DRIVEWAYS

SPECIFIC EXCLUSIONS

GENERAL INCLUSIONS

MATERIALS

- * Concrete surfaces not covered in
- * Concrete paving blocks or bricks
- * Asphalt surfaces

- * Corobrick clay burgundy or similar clay paving paver.
- * Smart stone type to edging only - maximum width 200mm. Set in 200mm from the edge

COLOUR

- * Bold patterns
- * Design Motif

- * Terracotta
- * Grey/Stone

NOTE:

PAVING PLUS DRIVEWAY NOT TO EXCEED 35% OF OPEN ERF AREA.
AREAS UNDER CARPORT/ENTRANCE PORTICO TO BE CLAY PAVERS AS PER DRIVEWAY.

11.10.3 POOL FENCING (TO POOLS ONLY)

- Position to be approved by P & A Committee.
- Fencing frontage to incorporate a planting programme to requirements
- Fencing inset a minimum of 1m from road-front boundary. May be on the side boundary with neighbour consent.
- Self closing access gates for mowers as required.

SPECIFIC EXCLUSIONS

GENERAL INCLUSIONS

MATERIALS

- * Other

- * To NBR DD4 SABS 0400/1990 as per example
- * Height 1,2m
- * Steel galvanised and painted/epoxy coated to comply with NBR
- * Dark green

COLOUR

11.10 BOUNDARY FENCING (READ IN CONJUNCTION WITH DIAGRAM p32 & PHOTOGRAPHS p33)**SPECIFIC EXCLUSIONS****MATERIALS**

- * Concrete panels
- * Concrete palisade
- * Wire fencing
- * Barbed wire/razor wire
- * PVC fencing

COLOUR

- * All colours other than those legal Under "General Inclusions"

GENERAL INCLUSIONS

- * Timber fencing – height 1,2m or 1,8m, white P.A.R. timber
- * Plastered clay or face brick
- * Timber post and rail
- * Estate style fencing (incorporating brick piers with infill panels).
- * Aluminium
- * White for timber
- * Horizon face-brick
- * Horizon or White for plaster and paint
- * Black or Forest Green for mild steel

NOTE: ALL MILD STEEL TO BE HOT DIPPED GALVANISED
EXTENT READ IN CONJUNCTION WITH DIAGRAM

GOLF COURSE BOUNDARIES/WATER FEATURES**SPECIFIC EXCLUSIONS**

- * All fences other than post and rail fence

GENERAL INCLUSIONS

- * Post and rail fence as per example - White

STREET BOUNDARIES

- * All fences other than those permitted Under "General Inclusions"

- * "Estate Style" fencing up to 2/3 of boundary. See photos p34
- * Any other approved fencing lower than 1.2m

SIDE BOUNDARIES TO GOLF COURSE OR WATER FEATURE SITES

- * Fences or walls of 1,8m not to be beyond Golf Course elevation of main dwelling (see diagrams)
- * Fences or walls of 1,2m not closer than 7,5m from Golf Course boundary (or water Feature) (see diagrams)

SIDE BOUNDARIES

- * Fences or walls of maximum height 1,8m extending from one corner beacon and not further beyond the furthest corner of the main dwelling (see diagram)

REAR OR PANHANDLE SITE BOUNDARIES

- * Fences or walls of maximum height 1,8m may extend along full length of boundary (see diagram)

WALKWAY BOUNDARIES

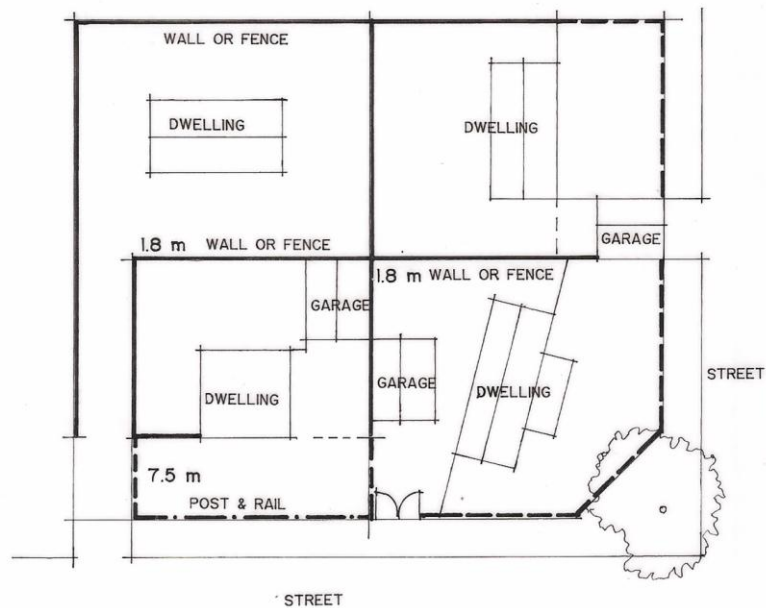
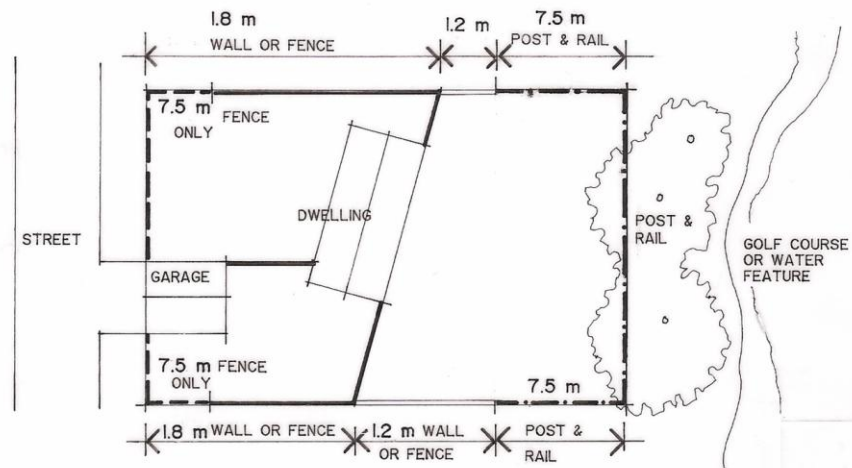
- * All walls or fences other than those Permitted under "General Inclusions"

- * Post and rail fence
- * Fences or walls may be erected on building lines in general accordance with side or rear site boundaries.

NOTE: ALL AREAS FENCED IN TO HAVE A GATE WITH A MINIMUM OPENING OF 1,2m TO ALLOW FOR LAWN MOWER ACCESS

GENERAL CONTROLS

SIDE AND REAR BOUNDARY EXTENT



- FENCE OR WALL AT A MAXIMUM HEIGHT OF 1.8 M
- - - ESTATE STYLE FENCE 1.8 M
- · - · - POST AND RAIL FENCE

TERRITORIAL ENCAMPMENT IS NOT ENCOURAGED

GENERAL CONTROLS

GENERAL INCLUSIONS

TIMBER/ALUMINIUM
COLOUR-WHITE



NOT ENCOURAGED



ESTATE STYLE FENCING

PIERS:

FACEBRICK
PLASTERED BRICKWORK
MINIMUM SIZE: 220 x 220MM

INFILL PANELS:

STEEL BARS AND SPIKES- BLACK/DARKGREEN
PLASTERED
WHITE ALUMINIUM





EXTENSIVE SOLID WALLING IS NOT ENCOURAGED

SPECIFIC EXCLUSION

GENERAL CONTROLS

GENERAL INCLUSIONS

11.11 STREET ADDRESS NUMBERS

Numbers to conform to Birkdale precedent.

* Address sign on a cast iron/aluminium post and plate.

COLOUR

* Dark Green

11.12 OUTSIDE LIGHTING

Exterior lighting to buildings to conform to Birkdale precedent. Landscape lighting on individual application.

11.13 MOTOR AND PEDESTRIAN GATES

All gates to match adjacent form of wall on boundary and to complement style of main dwelling. Pedestrian gates to be a minimum of 1,2m wide.

11.14 AIR CONDITIONER PLANT AND EQUIPMENT

Air conditioner plant and equipment to be positioned out of sight from golf course and street sides, not greater than 1.2m above ground level. Screening of plant and equipment is essential. Noisy plant and equipment will not be allowed.

11.15 BURGLAR ALARMS

Burglar alarms fitted to individual residential dwellings are to be non-audible in nature and are to be fitted by an approved security contractor on the MECCEMA-1 approved panel of security firms and to be suitable for connection to The Estate Security system. D.I.Y installations are not acceptable.

11.16 LANDSCAPING PLANTING GUIDE

A landscape design of the property must be prepared in consultation with the landscape guidelines prior to commencing work on site. No landscape work may proceed without approval from MECCEMA-1. A landscape planting guide is available from the MECCEMA-1 Office and should be consulted prior to giving consideration to landscaping on any Development.

11.17 STORM WATER

All MECCEMA-1 application sketch and landscaping plans must display the method of storm water disposal. No storm water may be disposed directly into neighbouring stands and must comply with National Building Regulations. Storm water must ideally be disposed of into any storm water drain, water feature or soak pit.

11.18 SOLAR PANELS/GENERATORS/WIND TURBINES

Solar heating panels of approved type will be accepted provided the position is accepted by MECCEMA.

Generators: At the time of going to press not enough information to make a rational ruling was available other than to stipulate that approval will only be considered if the noise output is not greater than that of a domestic type aircon unit. This equates to 50Db measured 7m from the unit Also exhaust emission will be taken into consideration. Neighbour consent will be necessary.

Battery/invertor sets: Internal installation only. Wired to SABS specification. Copy of certificate of compliance required by MECCEMA before use.

Wind turbines are not allowed.

12. THE DESIGN REVIEW PROCESS

Architects and Landscape Architects may obtain all documentation and plans relevant to the site from the MECCEMA-1 Offices.

Sketch plans for any building work should be submitted to the MECCEMA-1 directly for preliminary discussion. This will obviate unnecessary delays at a later stage. Sketch Plans should conform to the Architectural Control Specifications contained in the Development Controls for each Village. A copy of these Development Controls is available from MECCEMA-1.

The working drawings prepared for submission to the Local Authority should first be submitted to MECCEMA-1 for scrutiny and approval, at least two weeks prior to the P&A Committee meeting date. The following is a requirement for submission of plans to MECCEMA-1 for approval:-

- ❖ 3 Copies of the plans are to be submitted of which one must be coloured.
- ❖ The MECCEMA-1 application form with detailed FAR calculation must be completed.
- ❖ In exceptional circumstances where extensions over the building lines are acceptable, the RA3 form needs to be completed for neighbouring consent and attached to the MECCEMA-1 application form.
- ❖ Should there be a double storey addition or alteration, proof of Form 6A sent to the neighbouring residents need to accompany the application form.
- ❖ Neighbouring properties need to be shown on the site plan.
- ❖ Position of trees and new garden landscape drawing attached to the application.
- ❖ Boundary beacons to be exposed for site handover.

This document is considered supplementary to the Local Authority requirements and cannot take precedence should any provision of this document be regarded as contrary to the Local Authority requirements, then the Local Authority requirements shall prevail. Any application for waivers of Local Authority requirements should meet first with the approval of MECCEMA-1.

On approval three drawings will be stamped with MECCEMA-1 "Approved" stamp and one set returned to the Owner. One set will be retained by MECCEMA-1 for their records. One set to be kept on site by contractor.

The Local Authority will not scrutinize any plans without MECCEMA-1 "Approved" stamp.

The Review Architects act in an advisory capacity only, and all comments are at the discretion of MECCEMA-1. To this extent each design will be treated on its own merits.

13. THE DRAWING SUBMISSION PROCEDURE

STEP 1	DESIGN APPROVAL – BUILDING AND LANDSCAPE
STEP 2	LOCAL AUTHORITY PLANS APPROVED

13.1 DESIGN APPROVAL – BUILDING AND LANDSCAPE

13.1.1 The Architect should check the General Design Controls and the Village Development Control criteria relevant to that particular erf.

- 13.1.2 Secondly, sketch plans or preliminary working drawings must be submitted to the MECCEMA-1 along with a non-refundable deposit which includes the following:
- i. Scrutiny fee for design approval
 - ii. Plans for a structural garden layout
 - iii. Gutter scoop and driveway verge alterations
 - iv. Reinstatement of verge after completion of building operations.

The sketch plans should consist of:-

- v. One coloured copy of the drawings to show elevation plans and site plan to scale 1:100. Storm water drainage to be shown.
- vi. All materials on exterior to be identified.
- vii. Details of perimeter fencing.
- viii. A landscape layout giving details of drainage and structural planting. The MECCEMA-1 landscape architect will advise owners on the structural design of their gardens prior to submission.

- 13.1.3 The above should be submitted to:-
The Mount Edgecombe Country Club Estate
Management Association 1 (MECCEMA-1)

13.2 LOCAL AUTHORITY PLANS APPROVAL

- 13.2.1 On approval by the MECCEMA-1 the drawings can be prepared for submission to the Local Authority in terms of the National Building Regulations.

These must comprise of the following:-

- i. Four(4) paper prints of each plan, 2 of which must be coloured
- ii. The application form.
- iii. Indemnity and Undertaking form
- iv. An engineers appointment for is required for structural work.
- v. For Sectional Title owners and Legal representatives a Letter of Authority/ Power of Attorney form is required.

- 13.2.2 Note: No building work may commence without the approval of the MECCEMA-1 and the Local Authority.

14. APPOINTMENT OF A CONTRACTOR

By approving the contractors, MECCEMA-1 in no way accepts responsibility for the contractor and the contract remains firmly between the client and the contractor. Contractors have qualified under the following criteria:-

- 14.1 After completion of the Contractors information sheet (Appendix 6. p56), an interview with the contractor to establish the size of the contractor and his ability to undertake multiple contracts.
- 14.2 An inspection of the contractors work to establish whether he is able to deliver the quality of work expected by MECCEMA-1.
- 14.3 Once the contractor has passed the "Acid" test, he must be prepared to sign the contractors agreement (Appendix 4 p51), which governs the contractors conduct on site.

15. OWNER BUILDER

- 15.1 An owner-builder who is registered with the NHBRC (National Home Builders Registration Council) and with an acceptable construction record will be considered to do alterations to his own house. The references of prior building contracts must be given and he will not be allowed to negotiate any further work on the Estate, without MECCEMA-1 approval. The Contractor Information Sheet (Appendix 6 p56) must be completed.

16. CONSTRUCTION/COMPLETION

- 16.1 During the construction phase, an Estate representative will monitor the quality of construction and site cleanliness to ensure that the standards are maintained on the Estate. He is not responsible for the quality control of the houses. The Estate representative is available to advise and help people where necessary.

Please take note of the following procedure that will need to occur prior to a site being handed over:-

- Site handover request must be done by the Architect. Should the building contractor or Owner request the site handover, they will be requested to liaise with the architect.
- A letter confirming a date and time will be scheduled for the site handover, which the following people would need to be present:
 - Architect
 - Builder
 - Owner
 - MECCEMA-1 representative
- The approved MECCEMA-1 plan as well as the approved plan from the Municipality must be submitted to MECCEMA-1 prior to the site handover.
- The Operations Manager will not undertake handovers unless these drawings have been submitted to the MECCEMA-1 Office.
- Boundary beacons to be pointed out.
- After the site is handed over, the Building Contractor is to liaise with MECCEMA-1 with regard to access onto the Estate and levies payable.

Once the house is ready for occupation, the request for completion and cancellation of levies is to be done via the MECCEMA-1 Office.

- 16.2 On completion of all building work and where there have been deviations that must have had prior MECCEMA approval, the Owner is to submit the "as built" plan.

After the landscape garden work is complete the site handover certificate is to be signed off by MECCEMA apointee.

APPENDIX 1

MECCEMA-1**APPLICATION FOR APPROVAL OF BUILDING PLANS**

Date				
Nature of proposal				
Zoning		Height restriction		

Erf No.		Village		
Street Address				
Registered Owner				
Postal Address				
Tel no				
Fax				
Cell no				

Author of drawings		Signature	
Tel no			
Fax			
Cell no			

SITE AREA	m ²
F.A.R. [ALLOWABLE] [,]	m ²
COVERAGE [ALLOWABLE][%]	m ²

<u>EXISTING</u>	<u>AREA</u>	<u>FAR</u>	<u>COVERAGE</u>
Dwelling: Ground Floor			
First Floor			XXXXXXXXXXXXXXXXXX
Garage			
Lower Level - Verandah/Entrance		XXXXXXXXXXXXXXXXXX	XXXXXXXXXXXXXXXXXX
First Floor – Patio/Balcony		XXXXXXXXXXXXXXXXXX	XXXXXXXXXXXXXXXXXX
Total Areas	m ²	m ²	m ²
<i>Utilised</i>		[,]	[%]
<u>ADDITIONS/ALTERATIONS</u>	<u>AREA</u>	<u>FAR</u>	<u>COVERAGE</u>
Dwelling: Ground Floor			
First Floor			XXXXXXXXXXXXXXXXXX
Garage			
Lower Level - Verandah/Entrance		XXXXXXXXXXXXXXXXXX	XXXXXXXXXXXXXXXXXX
First Floor – Patio/Balcony		XXXXXXXXXXXXXXXXXX	XXXXXXXXXXXXXXXXXX
Total Areas	m ²	m ²	m ²
<i>Utilised</i>		[,]	[%]
<u>NEW TOTALS</u>	<u>AREA</u>	<u>FAR</u>	<u>COVERAGE</u>
Dwelling: Ground Floor			
First Floor			XXXXXXXXXXXXXXXXXX
Garage			
Lower Level - Verandah/Entrance		XXXXXXXXXXXXXXXXXX	XXXXXXXXXXXXXXXXXX
First Floor – Patio/Balcony		XXXXXXXXXXXXXXXXXX	XXXXXXXXXXXXXXXXXX
Total Areas	m ²	m ²	m ²
<i>Utilised</i>		[,]	[%]

F.A.R. [UTILIZED]	[]
COVERAGE [UTILISED]	[]

BUILDING LINES			
FRONT [ROAD]	m	m	m
SIDE	m	m	m
REAR [GOLF COURSE]	m	m	m
OTHER	m	m	m
	m	m	m

SERVITUDES

PROVIDE DETAILS IF APPLICABLE

NON USER SERVITUDES: [set back lines]

PROVIDE DETAILS IF APPLICABLE

PARKING [indicate number to be provided]

	Garages		Double		Single
	Carports		Double		Single
	Visitors		Bays		

BOUNDARY ENCLOSURES/POOL ENCLOSURES

State where these will occur and provide drawings in plan and elevation to a min scale 1:100

MATERIAL TO BE USED:	
FINISH:	
COLOUR:	
ACCESS GATE WIDTH FOR LANDSCAPE MACHINES	m
HEIGHT OF ENCLOSURE:	
POSITION:	

Does the boundary fence match any adjacent boundary enclosure?

LAUNDRY YARDS & LINES

State if visible from road and what screening will take place

Brick walls are recommended to a height of 2.1m

POSITION	
WALL TYPE	
VISIBILITY [state]	

STORM WATER DRAINAGE

Give brief details of proposed method of storm water controls

[to be shown on drawings]

Storm water drainage type

Where will the surface water flow to?

DRIVEWAY

Finish

Gates and Entrance features [drawings required]

LANDSCAPINGTrees: State if any exist and give details of size and speciesDesign: Submit a spare site plan for a structure plan followed by a landscape plan.**LANDSCAPE ELEMENTS**

Give details of any elements proposed in the landscaping such as statues, fountains, birdbaths, gazebos, trellis work and childrens play structures.

ADJACENT PROPERTIES/VIEWS AND PRIVACY

[A] Will the proposed improvement obstruct any of the adjacent properties views?

[B] What consideration has been given to the adjacent property regarding views?

[C] Has the privacy of the adjacent dwelling or property been altered by the proposal?

[D] If the proposal is double storey does it affect the privacy of the adjacent dwelling?

[E] Does the proposal 'dwarf' the adjacent dwellings, if so indicate on the elevations the scale in difference of the dwellings and motivate how the impact of this is dealt with?

DETAILS OF DWELLING OR STRUCTURE

ROOF LINES

Roof Material	
Roof Colour	
Fascia Material and Colour	
Barges Material and Colour	
Rainwater Goods	

Roof Scape: Does the general roof scape conform to the mount Edgecombe style and does the roof compliment the structure and adjacent dwellings

ELEVATIONS

Wall Materials	
Wall Colours	
Facebrick Plinth	YES <input type="radio"/> NO <input type="radio"/>
Elevation Form: Does the elevation conform the to the Mount Edgecombe Style	

WINDOWS

Existing Window Material & Style	
Window Material & Style	
Window Colour	
Window Positions: Do the window positions and style compliment the architectural style.	

Working Shutters

DOORS

Existing Door Material & Style	
Door Material & Style	
Door Colour	
Door Positions: Do the door positions and style compliment the architectural style	

TV RECEPTION DEVICE

Provide details of TV reception device type and proposed position

Record on plan and elevation

VERANDAHS

Roof Materials

Support Materials and Colour: [Give details on drawing]

NOTE

Applicants to endorse on all drawings submitted;

"All works to comply with MECCEMA-1 Design and Development Guidelines"

YES ☐ NO ☐**DRAWINGS INCLUDED**

I. Site plan	min 1:500
[adjacent sites and position of dwellings to be shown]	

II. Floor plans	min 1:100
-----------------	-----------

III. Elevations	min 1:100
-----------------	-----------

IV. Sections	min 1:100
--------------	-----------

V. Roof Plan	min 1:100
--------------	-----------

VI. Landscape Plan	min 1:100
[spare copy of site plan]	

[for office use]			
PLANNING & AESTHETICS COMMITTEE			
REFERRED DATE:			
COMMENTS:			
APPROVED DATE:			
SIGNED ARCHITECT/ARCHITECT TECHNICIAN			

APPENDIX 2

SITE HANDOVER CERTIFICATE – MINOR BUILDING WORK

<u>OWNER'S NAME</u>	
<u>PHYSICAL ADDRESS</u>	
<u>LOT NO.</u>	
<u>CONTACT NUMBERS</u>	(h) (c)
<u>COUNCIL APPROVED PLAN NO.</u>	
<u>MECCEMA APPROVAL DATE</u>	
<u>NATURE OF BUILDING WORK</u>	
<u>NAME OF CONTRACTOR & COMP</u>	
<u>NAME & TELEPHONE NO. OF SITE FOREMAN</u>	
<u>DATE OF HANDOVER</u>	

<u>CHECKLIST OF</u>	<u>BEFORE</u>	<u>AFTER</u>
<u>Boundary Pegs</u>		
<u>Building Lines</u>		
<u>Shade Cloth</u>		
<u>Sewer Connection Plan</u>		
<u>Storm Water Plan</u>		
<u>Ablutions</u>		
<u>Trees</u>		
<u>Garden</u>		
<u>Paving Complete</u>		
<u>Adjoining Properties</u>		
<u>Pool Fencing (In case of pool)</u>		
<u>Backwash Water</u>		
<u>Other</u>		

<u>SPECIAL CONDITIONS AND COMMENTS</u>

Please note that the site must be fenced with green shade cloth (80% of factor) around area of construction prior to any building work commencing. Please also note that a Security levy of R 250.00 per week will commence from date of this Site Handover and terminate on the date of the site completion inspection and Clearance by Meccema-1.

<u>REPRESENTATIVE OF MECCEMA-1</u>	<u>OWNER</u>	<u>BUILDING CONTRACTOR</u>	<u>DATED</u>



SITE COMPLETION AND CLEARANCE BY MECCEMA-1

LOT. NO.	
DATE OF COMPLETED INSPECTION	

Are there any deviations from the approved drawings?

Yes	No
-----	----

If yes, please provide as-built drawings.

SPECIAL CONDITIONS

REPRESENTATIVE OF MECCEMA-1	OWNER	BUILDING CONTRACTOR	DATED

--

GARDEN HANDOVER

ERF NO: _____ PHYSICAL ADDRESS: _____

OWNER: _____

LANDSCAPER/INSTALLED BY: _____

TAKEOVER DATE: _____

COMPARED TO APPROVED PLAN **YES** ☐ **NO** ☐

GARDEN ACCEPTABLE STANDARD **YES** ☐ **NO** ☐

IF **NO** – COMMENTS:

OWNER GIVEN SCHEDULE AND DETAILS OF SERVICE **YES** ☐ **NO** ☐
S

SPECIAL INSTRUCTIONS/SERVICES

OWNER

LEITCH LANDSCAPES

DATE

RECEIVED AND NOTED ON:

DATE

MECCEMA – 1

APPENDIX 3**MECCEMA-1 – CHECKLIST**

<u>GENERAL</u>		<u>SECTIONS</u>	
Plans presentation acceptable		Wall foundations shown & dimensioned	
Plans signed by owner & author		Type of floor constr. Shown & described	
Title: Cadastral description provided		Show A.G./D.P.C. & D.P.M.(where applicable)	
Postal address provided		Roof constr. Detailed & described	
Full title of proposal provided		All construction materials specified	
Schedule of areas correctly provided		Show heights of balustrades – balcony & stairs	
application forms fully completed		Driveways section shown (see below)	
3 sets of plans 1l coloured		Sections through boundary, screen and retaining walls	
100mm border on right hand side		Show N.G.L. & F.G.L.	
Minimum lettering size 2mm – no stick-on or tippex corrections		Full sewer section – C.L.I.L. depth and gradients	
<u>SITE PLAN</u>		<u>ELEVATIONS</u>	
complete site plan with exist/proposed building/demolitions		All relevant elevations provided	
Site plan fully dimensioned & setting out shown		All finishes to elevations shown	
Corner Beacon levels/contours shown		Boundary/retaining wall elevations provided	
North Point shown		Provide finishes to boundary walls	
Driveway, footpaths & parking shown		All roof coverings specified	
All building lines shown & dimensioned		Openable window sections shown	
Existing & proposed sewer/storm water shown		Finished & natural ground levels shown	
Show cut and fill banks		Hidden plumbing on all relevant elevations	
Floor level (bldg) in relation to road		Heights of screen walls shown	
Water meter size & position to be shown		<u>DRIVEWAY SECTION</u>	
Road & entrance levels to be shown		Road level, entrance level, width of verge, distance & gradients	
All street furniture to be shown			
<u>FLOOR PLANS</u>		<u>SWIMMING POOL</u>	
Proposed work & existing work clearly defined		Engineers appointment required	
All floors designated – Number of storeys		Drain to sewer via break pressure tank	
All rooms designated		Position of pump to be shown	
Rooms etc. fully dimensioned		Pool fencing shown	
Wall thickness shown (screen walls provided to washing drying areas and to outside toilet)			

APPLICATION FOR APPROVAL OF BUILDING PLANS - CONTD

Stairs fully dimensioned			
All shops/units numbered			
Designated bin area shown (roofed & rodent proofed)			
Proposed drainage & storm water shown			

APPENDIX 4



Mount Edgecombe Country Club Estate Management Association 1
Registration No. 1992/003562/08
P.O. Box 2000 MOUNT EDGECOMBE COUNTRY CLUB 4301
Tel: (031) 502 2534 Fax: (031) 502 1746

AGREEMENT - CONTRACTOR'S OBLIGATION

(To be completed and signed by both parties at the time of site handover)

1. PARTIES

1.1 Mount Edgecombe Country Club Estate Management Association 1 – "MECCEMA-1"
Registration No. 1992/003562/08

1.2
..... "The Contractor"

2. RECORDAL

2.1 The Contractor has been contracted to carry out building construction work on the property known as
Erf:.....
Owned by:.....
on Estate 1, and has accepted his mandate subject to the obligations in favour of MECCEMA-1, as set out
below in this agreement.

3. AGREEMENT

3.1 Principal Agent

It is recorded that the Principal Agent for this Contract is:.....

3.1.1 Construction Period

Construction of any house or any improvements or alterations once commenced shall be completed
within 12 months save with the consent in writing of MECCEMA-1, and the North Operational Entity

3.2 Construction Signs

The Contractor may erect a construction sign in the form approved by MECCEMA-1. The sign shall accommodate the street address, Erf number, architect's name, engineer's name, builder's name and, if approved by the owner, the owner's name. No other signs of contractors, sub-contractors, suppliers, financing companies or any other party may be erected on the site.

The construction sign must be in accordance with the design and dimensions as shown in Annexure "A". The lettering will be white, and the background green (Plascon Turf A23-7 or equivalent). It will be erected in a position agreed to at site handover.

3.3 Erosion Control

The Contractor shall install temporary construction entrances, fences, and other erosion control methods considered necessary immediately upon the building site being cleared. All erosion control measures must be undertaken in collaboration with the Estate Manager or Resident Architect or Landscape Consultant, so as to ensure erosion is avoided. Sandbags and berms are to be placed where necessary to prevent erosion, particularly over weekends and holiday periods.

3.4 Litter Control

The Contractor shall control litter and wind blown litter by the following methods:

- 3.4.1 The installation of a fence along the entire perimeter of the site; the fence shall be forest green 80% shade cloth, 2m high with one x 4m entrance in a position agreed to at site handover. The shade cloth is to be affixed to the outside of the supporting poles by means of green painted battens running the full height of the poles, which are to be spaced not more than 2,4 metres apart. The top is to be kept horizontal by means of battens, wire or mesh.
The entrance is to be closed with 2-metre shade cloth at the end of each working day.
- 3.4.2 Clearing the site of litter and building scraps particularly on Friday afternoons. The Estate Manager, or his deputy, may require the Contractor to clear the site at any stage if, in their opinion, the site is untidy.
- 3.4.3 Placement of litter bins on site, or a demarcated screened refuse collection area.
- 3.4.4 All litter and building refuse is to be removed from the Estate.
- 3.4.5 No burning of litter or rubbish is permitted on site.
- 3.4.6 Any litter spread outside the site is to be regularly picked up.

3.5 Work Hours

- 3.5.1 Unless otherwise approved by MECCEMA-1, construction work shall be limited to the time between 06h00 and 18h00, Mondays to Fridays. No construction will be allowed on Saturdays, Sundays or Public holidays.
- 3.5.2 A person with a contact number is to be nominated by the Contractor for any emergencies, which may occur after hours.

3.6 Behaviour

- 3.6.1 All construction workers are expected to behave in a workmanlike manner. Behaviour shall not disturb other residents or activities on the Estate. The Estate Manager, the Assistant Estate Manager, or the Security Manager, shall have the right to control behaviour and noise generated by construction workers and to ban disruptive or disrespectful workers from the Estate.
- 3.6.2 No workers may leave the building site at any time save in the exercise of their duties, and only then by vehicle and not on foot.

3.6.3 In the case of construction on more than one site, movement of personnel between sites is restricted to vehicles i.e. no pedestrian traffic.

3.6.4 No worker employed by the Contractor shall be entitled to be on the site other than during the hours provided in Clause 3.5 unless the prior written consent of the MECCEMA-1 Estate Manager, is given.

3.6.5 Contractors are responsible for the conduct of all sub-contractors on site.

3.7 Supervision

3.7.2 A supervisor or foreman shall be appointed to control the site. No such supervisor/foreman will control more than three sites on the Estate at any one time. He is to be on site or immediately available during working hours, and will be deemed to be representing the contractor in that person's absence.

3.8 Security, Access to the Estate and damage to services/trees

3.8.1 The Contractor will ensure that all contractor and sub-contractor employees engaged in this contract are aware of and abide by the Security rules contained in Annexure "B" to these obligations.

3.8.2 The Contractor shall ensure that all vehicles use the roads with due care and, should any of the road edgings/verges, Telkom and electricity manholes, sewer connections, irrigation valves, metro water pipes, fire hydrants, any other services or trees on the property or verge be damaged by the said vehicles or persons under control of the Contractor, then the Contractor shall be responsible for repairing such damage at the Contractor's own cost. Precautionary measures should be taken at the outset to prevent any such damage.

3.8.3 Care shall be taken when transporting materials to the site that the Estate speed restriction of 25 kph is adhered to.

3.8.4 Failure to take due care or to adhere to the speed restriction may result in a driver being fined or banned from access to the Estate and the construction site.

3.8.5 A security levy will be payable from the date of the site being handed over to the Contractor until the date of the Final clean up, as in paragraph 3.12

3.9 Parking

Construction vehicles shall not be parked in any area other than on the building site or on the verge bordering the site. Vehicles shall be parked with due consideration for users of the streets. Any damage caused by the parking of heavy vehicles will be repaired at the Contractor's expense

3.10 Storing of Construction Material

All construction material shall be stacked neatly behind the shade cloth at the site.

3.11 Toilet facilities

The Contractors must provide adequate portable toilet facilities, either water-borne (flushing) connected to the main sewer, or chemical, plus rubbish bins for construction workers during the construction period. The location of such facilities must be placed so as to minimise offence to the owners of other units on the Estate. The toilets should be screened off within the site with forest green shade cloth.

3.12 Final Clean Up

At the conclusion of the construction work, the Contractor shall restore all pavements, roadways, verges, ditches and drainage channels, to their original condition, including fine grading and seeding,

assure positive drainage with no standing water, clean the entire site of all construction debris and refuse, and remove all temporary fencing facilities, equipment and unused materials. Where necessary, verges are to be leveled to their original condition, grass sods laid and any trees destroyed replaced, in liaison with the Estate Landscaping Consultant. The Estate Manager or Resident Architect will, on completion of the contract, as part of the approval of the as-built plans by MECCEMA-1, carry out an inspection of the works inclusive of the verges and services.

3.13 Insurance

The Contractor shall take out at its own expense public liability assurance for any claim for damages arising from the acts or omissions of it or its employees or agents. The Contractor hereby indemnifies MECCEMA-1 against payment of any such claims for damages.

3.14 Exterior Coatings

The Contractor acknowledges the requirement to comply fully with the MECCEMA-1 Design and Development Guidelines in all respects, as well as with regard to exterior coatings and colours. Failure to comply with this requirement will result in MECCEMA-1 insisting on the exterior coatings being re-applied at the Contractor's expense.

3.15 Neighbouring Erfs

No encroachment onto neighbouring Erfs will be permitted without the prior permission of the owners of such Erfs and MECCEMA-1

4. Deviation from Approved Plans

The Contractor shall not deviate from the approved plans without being in possession of amended plans approved by MECCEMA-1 and the North Operational Entity.

5. Breach

5.1 In the event of the Contractor being in breach of any obligations under this agreement, then MECCEMA-1 shall be entitled to one or more of the following remedies:

5.2 Give written notification to the Contractor to remedy the breach within 24 hours.

5.3 Close the Contractor's access to the site until the breaches have been remedied.

5.4 Insist on rectification of the breach at the cost of the Contractor.

5.5 Issue of a written warning.

5.6 Imposition of a fine as decided by the Planning & Aesthetics Committee.

6. General

6.1 Non-waiver

No indulgence, which any party may give to the other party in terms of this agreement, shall constitute a waiver by the former of any of its rights under this agreement.

7. Variation

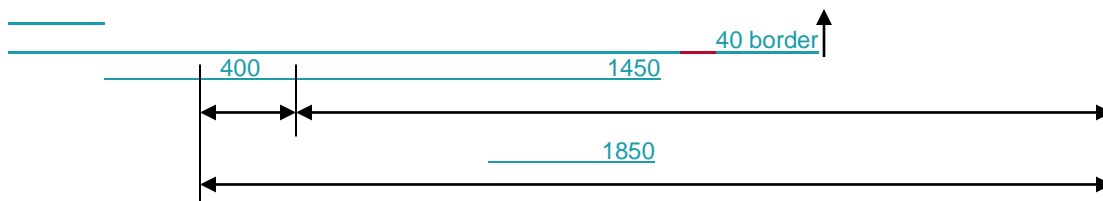
No agreement varying, adding to, deleting from or cancelling this agreement, and no waiver of any right under this agreement, shall be effective unless reduced to writing and signed by or on behalf of the parties.

APPENDIX 5
TYPICAL NOTICE BOARD FOR ESTATE 1 RESIDENTIAL
WORK

INSTRUCTIONS:

1. Typeface to be used shall be Helvetica Medium.
2. Note that all professional services involved on the project are to be shown.
3. Project name and owner shall be white lettering on green background. Surrounding border and lines under professional titles shall also be green. Green to be specifically : Plascon Turf Green :A23-7
4. Professional titles and Company names shall be in black on white background.

Alterations & Additions for Owner on Erf _____, _____ Village	
<div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div>	<div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div>



APPENDIX 6



MECCEMA - 1

Mount Edgecombe Country Club Estate Management Association 1

(Association Incorporated under Section 21 of the Companies Act) Registration No. 1992/003562/08

Tel: 031 - 502-2534

Fax: 031 - 502-1746

E-Mail: admin@meccema1.co.za

E-Mail: accounts@meccema1.co.za

E-Mail: frontdesk@meccema1.co.za

37 Copperstone Lane

Estate 2 - Gate 5

P.O.Box 2000

Country Club

4301

CONTRACTOR INFORMATION SHEET TO BE FURNISHED BY CLIENT BEFORE COMMENCEMENT OF ALTERATIONS

Home Owner :				
ERF No.	Street Address :			
Extent of Alteration - brief description :				
Architect :				
Appointed Engineer (if Required) :				
Anticipated Construction Period: From To				
Project Manager / Principle Agent :				
Principle Builder :				
Proof of registration with the NHBRC		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">Yes</td> <td style="width: 50%; text-align: center;">No</td> </tr> </table>	Yes	No
Yes	No			

In the event that the builder has not undertaken work on MECCEMA-1 previously please provide CV, list of completed projects, referrals.

No builder may begin any site work unless proof of familiarity with Estate Rules and Regulations is available.

Site Supervisor :

Sub Contractors

Please furnish details of the sub-contractors who will be attending the site:

Electrician
Plumber

Roofing
Tiling
Landscaper
Irrigation
Other (Specify)

<u>Ablution / toilets provided on site</u>	Yes	No
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Please supply proof of adequate public liability Insurance

APPENDIX 7**MECCEMA – 1 ARCHITECTS AND ARCHITECTURAL DESIGNERS**

ARCHITECT	NAME	TELEPHONE	FAX	CELL NUMBER	E-MAIL ADDRESS
ACDB CONSTRUCTION	ALAN WHITTAKER	031 – 539 1470	031 – 539 1471	083 280 3987	alan1@sentechnsa.co.za
ALAN BARNARD ARCHITECTS	ALAN BANARD	031 – 563 3356		083 306 7770	alpal@saol.com
GRAHAM FULLER ARCHITECTS	GRAHAM FULLER	031 – 312 8545	031 – 312 8545	083 788 8545	gfuller@iafrica.com
JIMMY VELISSARIOU ARCH.	JIMMY VELISSARIOU	031 – 539 6755	031 – 539 6755	083 309 8983	jimerick@saol.com
PELLEGRINI ASSOCIATE ARCH.	MARCO PELLEGRINI	031 – 562 1903	031 – 562 1923	083 785 1903	pellegarch@mweb.co.za
ROBERT ROSS ARCHITECTS	ROBERT ROSS	031 – 502 5018	031 – 502 5016	083 230 2043	robert@rossarchitects.co.za
RODGER COETZEE ASSOCIATES	MONTY ENGELBRECHT	031 – 566 5750	031 – 566 0007	083 320 5267	monty@architectsche.co.za
SAGNELLI & ASSOCIATES	CHEN SAGNELLI	031 – 502 6977	031 – 502 6166		info@sagnelli.com
SPHERE DESIGNS & ARCHITECTURE	GINA WALKER	031 – 266 4446	031 – 266 4302	083 271 2544	gina@spheredesign.co.za